

INSPECTION REPORT



For the Property at:
127 JACKSON WAY
NORTHAMPTON, MA 01060

Prepared for: JANE BROWN
Inspection Date: Friday, March 20, 2015
Prepared by: Edward Hamel



Hamel Inspections, LLC
155 Glendale Rd
Southampton, MA 01073
413 244 2343

hamelinspections@gmail.com



October 13, 2015

Dear Jane Brown,

RE: Report No. 1004, v.3
127 Jackson Way
Northampton, MA
01060

Thank you for choosing us to perform your Home Inspection. We trust the experience was both useful and enjoyable.

Please feel free to call with any questions you may have regarding the report.

Thanks again for allowing us to work with you.

Sincerely,

Edward Hamel
on behalf of
Hamel Inspections, LLC

Hamel Inspections, LLC
155 Glendale Rd
Southampton, MA 01073
413 244 2343

hamelinspections@gmail.com



INVOICE

October 13, 2015

Client: Jane Brown

Report No. 1004, v.3

For inspection at:

127 Jackson Way

Northampton, MA

01060

on: Friday, March 20, 2015

Home inspection

\$450.00

Total

\$450.00

PAID IN FULL - THANK YOU!

Hamel Inspections, LLC
155 Glendale Rd
Southampton, MA 01073
413 244 2343

hamelinspections@gmail.com

AGREEMENT

Report No. 1004, v.3

127 Jackson Way, Northampton, MA March 20, 2015

PARTIES TO THE AGREEMENT

Company

Hamel Inspections, LLC
155 Glendale Rd
Southampton, MA 01073

Client

Jane Brown
127 Jackson Way
Northampton, MA

Total Fee: \$450.00

This is an agreement between Jane Brown and Hamel Inspections, LLC.

Hamel Home Inspections

Inspection Agreement

This is an agreement between the above listed Client and Hamel Home inspections. The client requests that Hamel Home Inspections conduct a home inspection at the above listed address. and prepare a home inspection report. The client warrants that permission has been obtained from the owner to conduct an inspection of the property.

The client agrees to pay the agreed upon fee at the conclusion of the on site inspection.

Hamel Home Inspections agrees to perform the inspection in accordance with the Massachusetts Standards of Practice, <http://www.mass.gov/ocabr/licensee/dpl-boards/hi/266-cmr-600.html> The client understands that these standards contain limitations, exceptions, and exclusions. A home inspection is an in-field evaluation and professional opinion of the performance of the readily accessible and installed systems in a home at one point in time.

A standard home inspection is a visual examination of the physical structure and major interior systems of a residential building consisting of one to four dwelling units. It should be understood that there are certain risks inherent in the purchase of property and a home inspection is inherently limited in its scope and depth. A home inspection will not identify concealed defects nor is it intended to predict future performance or life expectancy. The information gained from this home inspection may reduce some risks but is not intended to provide the client with protection from all risks involved. It should be clearly understood that a home inspection is not to be confused with an appraisal, a building code inspection, a guarantee of any kind, and/or an insurance policy on the condition of the property.

Home inspectors will not find conditions that may be only visible when storage or furniture is moved. We do not remove wall coverings, lift flooring, including carpet, or move storage to look underneath or behind.

Please carefully read the exclusions set forth in the MA Standards. Home inspectors are not required to inspect environmental conditions, subterranean soil conditions, insect infestation, lead paint, radon, mold or mildew, asbestos, septic systems, buried tanks, urea formaldehyde and drywall manufactured in China. Homeowners may want to consider a complete environmental evaluation of the property before buying. It can be impossible to observe water/moisture, leaks, seepage and drainage problems, unless the inspection is conducted during or immediately following rain sufficient to reveal such problems.

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This property inspection is performed for the sole use of the client. It may not be transferred or assigned to any third party. Hamel Inspections accepts no responsibility for use by any third party.

As a courtesy, we may exceed the MA Standards in a particular area but should not be expected to exceed requirements in other areas. Any comments made during the inspection that go beyond the MA Standards should be considered gratuitous in nature. It should be clearly understood that a home inspection is not to be confused with an appraisal, a building code inspection, a guarantee of any kind, and/or an insurance policy on the condition of the property.

I, (print)_____, (signature)_____,
(date)_____, have read, understood and accepted the terms of this agreement.

**I, Jane Brown (Signature)_____, (Date)_____, have read, understood and
accepted the terms of this agreement.**

SUMMARY

Report No. 1004, v.3

127 Jackson Way, Northampton, MA March 20, 2015

SUMMARY

ROOFING

EXTERIOR

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This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

[Priority Maintenance Items](#)

Roofing

SLOPED ROOFING \ Composition shingles

Condition: • [Near end of life expectancy](#)

There is excessive growth of moss and lichens on the north side of the roof that is shortening the life of the shingles.

Task: Monitor

Condition: • [Cupping, curling, clawing](#)

Task: Monitor

Condition: • [Slots wide](#)

Task: Monitor

Exterior

ROOF DRAINAGE \ Gutters

Condition: • [Discharging onto roof](#)

Location: Second Floor Porch

Task: Monitor

ROOF DRAINAGE \ Downspouts

Condition: • [Downspouts end too close to building](#)

Task: Improve

WALLS \ Trim

Condition: • [Rot or insect damage](#)

There is decay where the siding is close to the ground near gas entrance. The decay goes through the siding into the sill.

Location: Rear Exterior

Task: Repair

Time: Immediate

WALLS \ Wood siding

Condition: • [Cracked, split or broken](#)

There is cracking at various locations on the north and south sides

Location: Various

Task: Repair

EXTERIOR GLASS \ Glass (glazing)

Condition: • Putty missing, cracked or deteriorated.

Location: Various

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Task: Repair

DOORS \ Exterior trim

Condition: • The two porch doors are not opening and closing well.

Location: Porch

Task: Repair

PORCHES, DECKS, STEPS, PATIOS AND BALCONIES \ Joists

Condition: • The steel posts supporting the side porch could not be inspected because of no access. These posts are prone to decay from rust.

Location: Left Porch

Task: Monitor, further evaluation

Condition: • [Fastener problems](#)

The porch floor may be pulling away from the house.

Location: Left Side Porch

Task: Monitor

PORCHES, DECKS, STEPS, PATIOS AND BALCONIES \ Steps and landings

Condition: • Trip hazard

The exterior stairs are uneven and broken in places. This is a trip hazard. Handrails need to be installed.

Implication(s): Trip or fall hazard

Location: Front and side

Task: Provide

PORCHES, DECKS, STEPS, PATIOS AND BALCONIES \ Handrails and guards

Condition: • [Missing](#)

Implication(s): Fall hazard

Task: Provide

LANDSCAPING \ Lot grading

Condition: • [Improper slope](#)

grade here is minimal, potential for water to come into home.

Location: Rear

LANDSCAPING \ Driveway

Condition: • [Cracked or damaged surfaces](#)

There are a couple of long cracks to be repaired at the driveway.

Task: repair

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Structure

FOUNDATIONS \ Foundation

Condition: • [Mortar deteriorating or missing](#)

Task: Repair

FLOORS \ Joists

Condition: • [Rot](#)

There is some decay happening in various locations of joists, sills, and beams.

Location: Various Basement

Task: Monitor, repair

FLOORS \ Concrete slabs

Condition: • There is some uneven areas, possible trip hazard.

Task: Improve

ROOF FRAMING \ Collar ties/rafter ties

Condition: • [Missing](#)

Location: Throughout

Task: Provide

Electrical

SERVICE BOX, GROUNDING AND PANEL \ Distribution panel

Condition: • [Damaged panel or components](#)

door is not mounted

Task: Provide

Condition: • [Openings in panel](#)

Location: Basement

Task: repair

Condition: • [Double taps](#)

Task: Repair

DISTRIBUTION SYSTEM \ Wiring - installation

Condition: • [Not well secured](#)

service line to outside rear should be fastened better

Location: Basement

Task: Improve

Time: Discretionary

DISTRIBUTION SYSTEM \ Outlets (receptacles)

Condition: • [No GFI \(Ground Fault Interrupter\)](#)

Location: Laundry Area

Task: Provide

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Condition: • [GFI test faulty](#)

Location: Kitchen

Task: Repair

Time: Immediate

Heating

General

• Gas fired heating plants should be serviced every other year and upon moving into the new home

Task: Service

GAS FURNACE \ Ducts, registers and grilles

Condition: • Duct extensions not well connected to main trunk.

Task: repair

Condition: • [Weak airflow](#)

Location: Various

Task: improve

Condition: • [Excessively long runs, excessive elbows](#)

Location: Various

Task: improve

Condition: • [Insulation missing, damaged](#)

At ductwork

Location: Basement

Task: improve

Condition: • Missing

There is no cold return air ducts on second floor

Location: Second Floor

Task: Monitor, improve

GAS FURNACE \ Mid- and high-efficiency gas furnace

Condition: • [Condensate problems](#)

condensate pipe goes into ground.

Location: Basement

Task: Monitor

WOOD STOVE \ Cabinet, door and clearances

Condition: • [Floor - combustible clearance inadequate](#)

Location: First Floor

Task: Repair

Time: Immediate

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WOOD STOVE \ Venting

Condition: • Rust or obstructed

There is rust where the exhaust pipe meets the stove.

Location: First Floor

Task: Replace

Time: Immediate

CHIMNEY AND VENT \ Masonry chimney

Condition: • [Loose, missing or deteriorated masonry](#)

In the top 3' of the chimney

Location: Rear

Task: Repair

Condition: • [Spalling](#)

Location: Rear

Task: Repair

Insulation and Ventilation

ATTIC/ROOF \ Insulation

Condition: • [Amount less than current standards](#)

Task: Further evaluation

ATTIC/ROOF \ Attic staircase

Condition: • [Handrails or guardrails missing or unsafe](#)

guard rails could be improved

Implication(s): Trip or fall hazard

Location: First Floor Second Floor Attic

Task: Improve

FOUNDATION \ Interior insulation

Condition: • [None](#)

Some could be added at the box sill

Task: Improve

Plumbing

WASTE PLUMBING \ Drain piping - performance

Condition: • [Leak](#)

There is a small leak at the cast iron soil pipe as it exits the home. The foundation hole for the soil pipe should be repaired.

Location: Basement

Task: Improve

Time: Discretionary

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FIXTURES AND FAUCETS \ Toilet

Condition: • [Loose](#)

Location: Second Floor

Task: Repair

FIXTURES AND FAUCETS \ Bathtub

Condition: • [Slow drain](#)

Task: Improve

Interior

FLOORS \ General

Condition: • [Trip hazard](#)

Floor transition level is uneven between some rooms

Location: First Floor Kitchen

Task: Monitor

FLOORS \ Resilient flooring

Condition: • Edges are lifting.

Location: Second Floor Bathroom

Task: repair

FLOORS \ Subflooring

Condition: • [Springy](#)

Location: First Floor Second Floor Attic

FLOORS \ Concrete floors

Condition: • uneven floor trip hazard

Location: Basement

Task: Monitor, repair

Time: Discretionary

CEILINGS \ General

Condition: • Typical flaws

Location: Various

Task: Monitor

WINDOWS \ Glass (glazing)

Condition: • [Lost seal on double or triple glazing](#)

Skylight

Location: Second Floor Bathroom

WINDOWS \ Skylight

Condition: • [Leak](#)

There are water stains on the sheetrock.

Location: Second Floor Bathroom

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Task: Monitor

DOORS \ Doors and frames

Condition: • Does not latch properly
door knob at closet needs repair

Location: Rear Second Floor Bedroom

Task: Repair

Time: Discretionary

CARPENTRY \ Cabinets

Condition: • [Defective hardware](#)

At sink base

Location: Kitchen

Task: Improve

STAIRS \ General

Condition: • [Poor lighting](#)

Implication(s): Trip or fall hazard

Location: Various Basement First Floor Second Floor

Task: Improve

STAIRS \ Height

Condition: • Cellar stairway ceiling height is low

Task: Monitor

STAIRS \ Stringers

Condition: • [Rot at bottom](#)

The bottom stair tread should be replaced.

Location: Basement

Task: repair

STAIRS \ Handrails

Condition: • [Too high](#)

It is hard to hold

Location: Basement

Task: Improve

STAIRS \ Guardrails

Condition: • Should be improved in both attics.

Task: Provide

Condition: • [Too low](#)

Implication(s): Fall hazard

Location: first floor attic

Task: improve

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Condition: • [Missing](#)

Implication(s): Fall hazard

Location: second floor attic

Task: Provide

BASEMENT \ Wet basement - evidence

Condition: • [Water on floor](#)

Location: Basement

Task: monitor

BASEMENT \ Wet basements - corrective action noted

Condition: • Sump pump in basement

Condition: • [Dehumidifier in basement](#)

Condition: • [Peripheral drain](#)

Location: Throughout Basement

EXHAUST FANS \ Exhaust duct

Condition: • [Weather hood missing or loose](#)

Location: Rear Exterior

Task: Repair

Condition: • [Not vented to exterior](#)

Location: Second Floor Bathroom

Task: Improve

APPLIANCES \ Dryer

Condition: • Plastic dryer vent

Should be metal

Location: First Floor Laundry Area

Task: Replace

Time: Immediate

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

[Home Improvement - ballpark costs](#)

ROOFING

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Description

General: • Roof Penetrations.

Note: There are two plumbing vents, one roof antennae, one chimney and one skylight.

Sloped roofing material: • Composition shingles

Sloped roof flashing material: • Aluminum • Copper

Limitations

Inspection performed: • Looking out house window

Inspection performed: • By walking on roof • With binoculars from the ground

Recommendations

SLOPED ROOFING \ Composition shingles

1. Condition: • [Near end of life expectancy](#)

There is excessive growth of moss and lichens on the north side of the roof that is shortening the life of the shingles.

Task: Monitor

2. Condition: • [Cupping, curling, clawing](#)

Task: Monitor

3. Condition: • [Slots wide](#)

Task: Monitor

Description

Gutter & downspout material:

- [Aluminum](#)

gutter missing on back side of side entrance building and only partial at front of building low roof area. There are no gutters on the left side porch



1. Aluminum

Gutter & downspout discharge:

- [Above grade](#)

Lot slope:

- [Away from building](#)
- [Towards building](#)

Wall surfaces:

- Wood
- clapboards

Soffit and fascia:

- [Wood](#)

Driveway:

- Blacktop

Walkway:

- There is no walkway other than grass to 3 doors.

Porch:

- Wood

Exterior steps:

- Concrete
- Stone

Limitations

No or limited access to: • Area below steps, deck, porches

Recommendations

ROOF DRAINAGE \ Gutters

4. Condition: • [Discharging onto roof](#)

Location: Second Floor Porch

Task: Monitor

ROOF DRAINAGE \ Downspouts

5. Condition: • [Downspouts end too close to building](#)

Task: Improve

EXTERIOR

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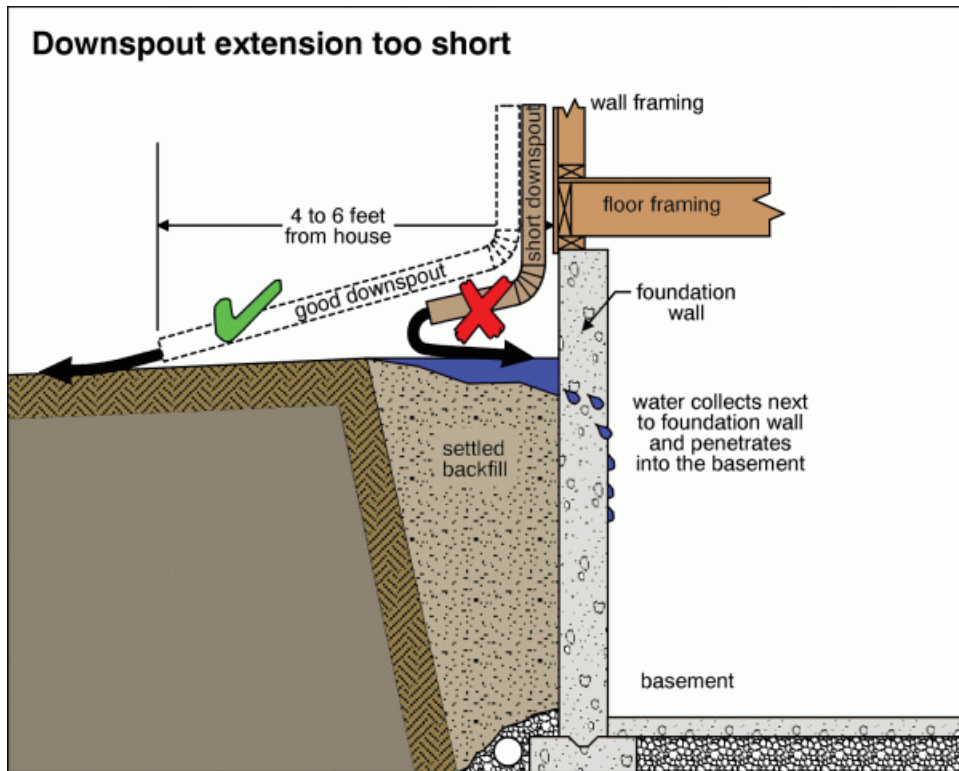
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WALLS \ Trim

6. Condition: • [Rot or insect damage](#)

There is decay where the siding is close to the ground near gas entrance. The decay goes through the siding into the sill.

Location: Rear Exterior

Task: Repair

Time: Immediate

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2. Rot or insect damage

WALLS \ Wood siding

7. Condition: • [Cracked, split or broken](#)

There is cracking at various locations on the north and south sides

Location: Various

Task: Repair



3. Cracked, split or broken

EXTERIOR GLASS \ Glass (glazing)

8. Condition: • Putty missing, cracked or deteriorated.

Location: Various

Task: Repair

DOORS \ Exterior trim

9. Condition: • The two porch doors are not opening and closing well.

Location: Porch

Task: Repair

10. Condition: • The Exterior doors have double cylinders. This could be a serious safety issue.

Location: Throughout

Task: Improve

Time: Immediate

BASEMENT ENTRANCES \ Basement stairwells

11. Condition: • [Step and landing problems](#)

There is no door, only a pressure treated plywood cover. The stairs under the plywood are uneven and a trip hazard.

Implication(s): Trip or fall hazard

Location: Basement

Task: Upgrade

PORCHES, DECKS, STEPS, PATIOS AND BALCONIES \ Joists

12. Condition: • The steel posts supporting the side porch could not be inspected because of no access. These posts are prone to decay from rust.

Location: Left Porch

Task: Monitor, further evaluation

13. Condition: • [Fastener problems](#)

The porch floor may be pulling away from the house.

Location: Left Side Porch

Task: Monitor

PORCHES, DECKS, STEPS, PATIOS AND BALCONIES \ Steps and landings

14. Condition: • Trip hazard

The exterior stairs are uneven and broken in places. This is a trip hazard. Handrails need to be installed.

Implication(s): Trip or fall hazard

Location: Front and side

Task: Provide

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4. Step and landing problems



5. Step and landing problems

PORCHES, DECKS, STEPS, PATIOS AND BALCONIES \ Handrails and guards

15. Condition: • [Missing](#)

Implication(s): Fall hazard

Task: Provide

LANDSCAPING \ Lot grading

16. Condition: • [Improper slope](#)

grade here is minimal, potential for water to come into home.

Location: Rear

LANDSCAPING \ Driveway

17. Condition: • [Cracked or damaged surfaces](#)

There are a couple of long cracks to be repaired at the driveway.

Task: repair

LANDSCAPING \ General

18. Condition: • Shrubs are too close to building.

Description

Configuration:

- [Basement](#)
- [Slab-on-grade](#)

Floor is out of level with trip hazards. There is a built in drain system into the floor.

Foundation material: • [Stone](#) • [Brick](#)

Floor construction:

- [Joists](#)

- Wood columns

Some of the wood columns appear to be temporary and could be replaced.

- Masonry columns
- Wood beams
- Subfloor - plank

Exterior wall construction: • [Wood frame](#) • [Post and beam](#)

Roof and ceiling framing: • Electric attic light

Note: There are lights in each of 2 attics.

Roof and ceiling framing:

- [Rafters/roof joists](#)
- [Plank sheathing](#)
- [Plywood sheathing](#)

plywood was added over boards.

Limitations

Inspection limited/prevented by:

- Storage

90% of the attic floors was covered with storage.

Crawl space:

- No access

At side porch.

Percent of foundation not visible: • 25 %

Recommendations

FOUNDATIONS \ Foundation

19. Condition: • [Mortar deteriorating or missing](#)

Task: Repair

FLOORS \ Joists

20. Condition: • [Rot](#)

There is some decay happening in various locations of joists, sills, and beams.

STRUCTURE

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Location: Various Basement

Task: Monitor, repair

FLOORS \ Concrete slabs

21. Condition: • There is some uneven areas, possible trip hazard.

Task: Improve

ROOF FRAMING \ Collar ties/rafter ties

22. Condition: • [Missing](#)

Location: Throughout

Task: Provide

Description

Service entrance cable and location: • [Overhead aluminum](#)

Service size: • [200 Amps \(240 Volts\)](#)

Main disconnect/service box rating: • [200 Amps](#)

Main disconnect/service box type and location: • Corrosion inhibitor

Note: present

Main disconnect/service box type and location: • [Breakers - basement](#)

Number of circuits installed: • 21

System grounding material and type: • Bonded within 5' of water system

Note: Bonded to an exterior water system but not bonded to the house water system. This should be fixed.

System grounding material and type: • [Copper - water pipe and ground rod](#)

Distribution panel rating: • [200 Amps](#)

Distribution panel type and location: • [Breakers - basement](#)

Distribution wire material and type:

• [Copper - non-metallic sheathed](#)

• [Aluminum - non-metallic sheathed](#)

This is feeding to the rear barn

Type and number of outlets (receptacles): • [Grounded - typical](#)

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI): • [GFCI - bathroom](#) • [GFCI - panel](#) • [GFCI - basement](#) • GFCI - kitchen

Limitations

Inspection limited/prevented by: • 50% of the ceiling was covered with plastic or plywood.

Inspection limited/prevented by:

• Storage

Many outlets were not viewable

Recommendations

SERVICE BOX, GROUNDING AND PANEL \ Distribution panel

23. Condition: • [Damaged panel or components](#)

door is not mounted

Task: Provide

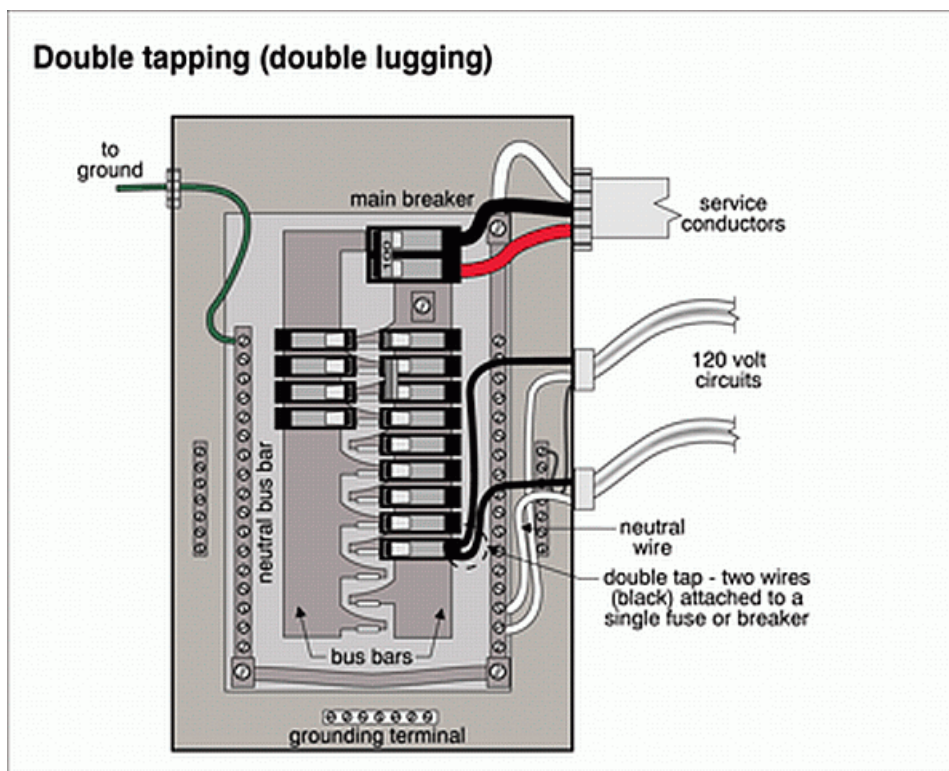
24. Condition: • [Openings in panel](#)

Location: Basement

Task: repair

25. Condition: • [Double taps](#)

Task: Repair



DISTRIBUTION SYSTEM \ Wiring - installation

26. Condition: • [Not well secured](#)

service line to outside rear should be fastened better

Location: Basement

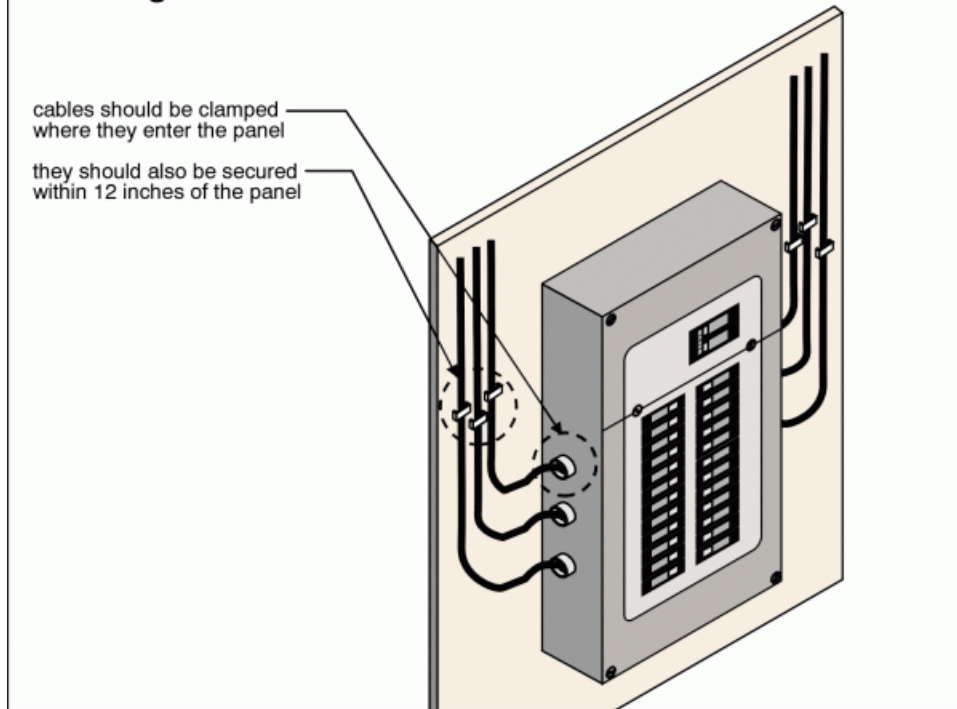
Task: Improve

Time: Discretionary

Securing wires

cables should be clamped where they enter the panel

they should also be secured within 12 inches of the panel



DISTRIBUTION SYSTEM \ Outlets (receptacles)

27. Condition: • [No GFI \(Ground Fault Interrupter\)](#)

Location: Laundry Area

Task: Provide

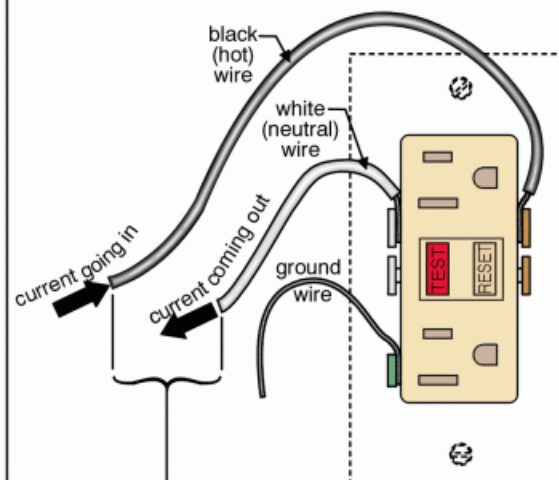
Ground fault interrupter

the GFI circuitry within the outlet checks constantly for a difference between the current in the black and white wires

if there is a difference (even as little as 5 milliamps), there is a current leak (possibly through your body) and the GFI shuts down the receptacle and other receptacles downstream

note:

if the GFI is in the panel, the entire circuit will be shut down



ELECTRICAL

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28. Condition: • [GFI test faulty](#)

Location: Kitchen

Task: Repair

Time: Immediate

Description

General: • Operated Normally During Operation

Fuel/energy source: • Propane

System type: • [Furnace](#)

Furnace manufacturer: • Ruud

Heat distribution:

• [Ducts and registers](#)

insulated galvanized steel and flex duct. The returns are not insulated

Exhaust venting method: • [Forced draft](#)

Approximate age: • [3 years](#)

Typical life expectancy: • Furnace (conventional or mid-efficiency) 18 to 25 years

Main fuel shut off at: • Basement

Exhaust pipe (vent connector): • PVC plastic

Auxiliary heat: • [Wood stove](#)

Chimney/vent: • There is a masonry chimney not currently being used. The bricks at and above the roof line are spalling and could/should be repaired.

Chimney/vent:

• [Metal](#)

At the wood stove.

• [Abandoned](#)

At the furnace area.

Combustion air source:

• Outside

The woodstove relies on indoor air.

Limitations

Inspection prevented/limited by: • Top of chimney too high to see well

Fireplace/wood stove: • Stove was in use

Recommendations

General

29. • Gas fired heating plants should be serviced every other year and upon moving into the new home

Task: Service

GAS FURNACE \ Ducts, registers and grilles

30. Condition: • Duct extensions not well connected to main trunk.

Task: repair

31. Condition: • [Weak airflow](#)**Location:** Various**Task:** improve**32. Condition:** • [Excessively long runs, excessive elbows](#)**Location:** Various**Task:** improve**33. Condition:** • [Insulation missing, damaged](#)

At ductwork

Location: Basement**Task:** improve**34. Condition:** • Missing

There is no cold return air ducts on second floor

Location: Second Floor**Task:** Monitor, improve**GAS FURNACE \ Mid- and high-efficiency gas furnace****35. Condition:** • [Condensate problems](#)

condensate pipe goes into ground.

Location: Basement**Task:** Monitor**WOOD STOVE \ Cabinet, door and clearances****36. Condition:** • [Floor - combustible clearance inadequate](#)**Location:** First Floor**Task:** Repair**Time:** Immediate

HEATING

Report No. 1004, v.3

127 Jackson Way, Northampton, MA March 20, 2015

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6. Floor - combustible clearance inadequate

WOOD STOVE \ Venting

37. Condition: • Rust or obstructed

There is rust where the exhaust pipe meets the stove.

Location: First Floor

Task: Replace

Time: Immediate

CHIMNEY AND VENT \ Masonry chimney

38. Condition: • [Loose, missing or deteriorated masonry](#)

In the top 3' of the chimney

Location: Rear

Task: Repair

39. Condition: • [Spalling](#)

Location: Rear

Task: Repair

INSULATION AND VENTILATION

Report No. 1004, v.3

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Description

Attic/roof insulation material: • [Glass fiber](#) • [Cellulose](#)

Attic/roof ventilation: • [Roof and soffit vents](#) • [Gable vent](#)

Mechanical ventilation system for home: • Kitchen exhaust fan • Bathroom exhaust fan • Laundry room exhaust fan

Limitations

Attic inspection performed: • Both attics had storage on 80% of floor.

Recommendations

ATTIC/ROOF \ Insulation

40. Condition: • [Amount less than current standards](#)

Task: Further evaluation

ATTIC/ROOF \ Attic staircase

41. Condition: • [Handrails or guardrails missing or unsafe](#)

guard rails could be improved

Implication(s): Trip or fall hazard

Location: First Floor Second Floor Attic

Task: Improve

FOUNDATION \ Interior insulation

42. Condition: • [None](#)

Some could be added at the box sill

Task: Improve

43. Condition: • [Exposed combustible insulation](#)

windows are covered with styrofoam

Implication(s): Fire hazard

Location: Basement

Description

Water supply source: • Private

Service piping into building: • [Plastic](#)

Supply piping in building: • [Copper](#) • [Plastic](#)

Main water shut off valve at the: • Basement

Water flow and pressure: • [Functional](#)

Water heater fuel/energy source: • Propane

Water heater type: • [Conventional](#)

Water heater exhaust venting method: • Direct vent

Water heater manufacturer: • Ruud

Tank capacity: • [40 gallons](#)

Water heater approximate age: • TPRV noted • Vacuum Relief Valve Noted

Water heater approximate age: • 3 years

Typical life expectancy: • 8 to 12 years

Waste and vent piping in building: • [ABS plastic](#) • [Cast Iron](#)

Pumps: • [Sump pump](#)

Gas piping: • Steel • Copper

Main fuel shut off valve at the: • Basement

Limitations

Inspection limited/prevented by: • 20% of the outside walls were not visible due to storage. There is plastic or plywood covering 50% of the ceiling so not visible

Recommendations

WASTE PLUMBING \ Drain piping - performance

44. Condition: • [Leak](#)

There is a small leak at the cast iron soil pipe as it exits the home. The foundation hole for the soil pipe should be repaired.

Location: Basement

Task: Improve

Time: Discretionary



7. Leak

WASTE PLUMBING \ Venting system

45. Condition: • [Missing](#)

The sump pump for the cellar sink is not vented properly.

Implication(s): Sewer gases entering the building

Location: Basement

Task: Improve

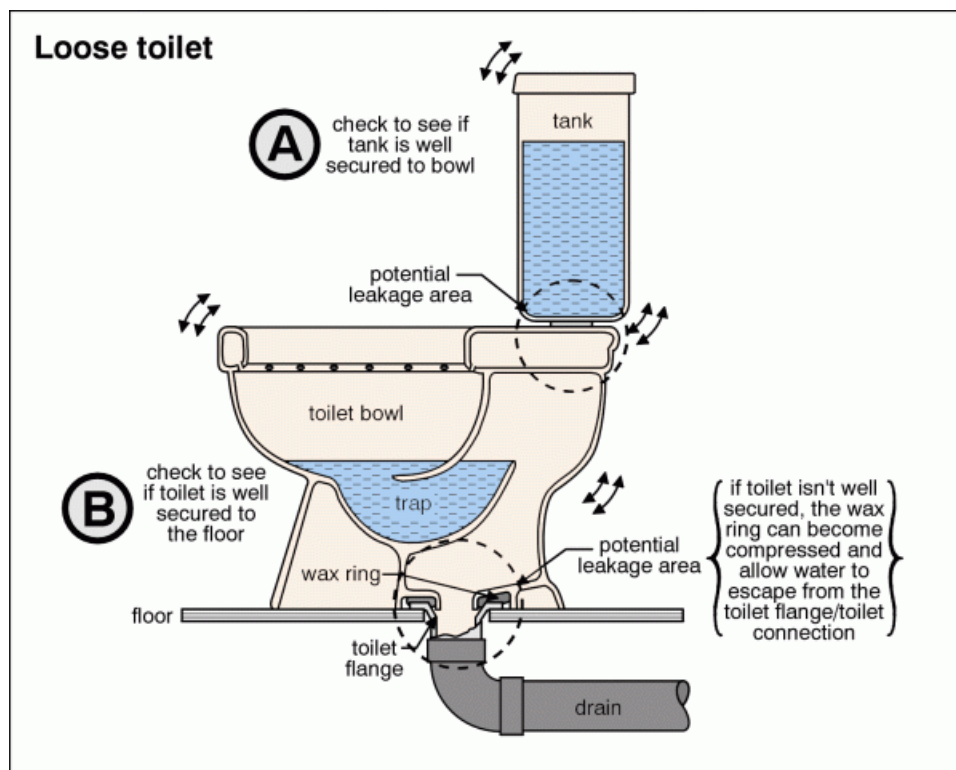
Time: Immediate

FIXTURES AND FAUCETS \ Toilet

46. Condition: • [Loose](#)

Location: Second Floor

Task: Repair



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FIXTURES AND FAUCETS \ Bathtub

47. Condition: • [Slow drain](#)

Task: Improve

FIXTURES AND FAUCETS \ Shower stall

48. Condition: • The pressure is low and the water hot. The tempering valve needs adjustment.

Location: Second Floor Bathroom

Task: Improve

Description

Major floor finishes: • Wood

Major floor finishes:

- [Concrete](#)
- Vinyl
- Tile

Floor tiles at cellar landing may contain asbestos.

Major wall finishes: • Wood

Major wall finishes: • [Plaster/drywall](#)

Major ceiling finishes: • Fiber Board

Major ceiling finishes: • [Plaster/drywall](#) • [Acoustic tile](#)

Windows:

- [Single/double hung](#)

The top sash appear to be fixed in place.

- [Casement](#)
- [Skylight](#)

Glazing: • [Single](#) • [Double](#)

Exterior doors - type/material: • Wood with glass

Exterior doors - type/material: • [Plastic/fiberglass](#)

Evidence of basement leakage: • Sump Pump in Cellar • Sump pump noted

Evidence of basement leakage: • Water • Trough at wall/floor intersection • Dehumidifier in basement

Laundry facilities:

- Washer
- Dryer
- Vented to outside
- vent cover broken
- 120-Volt outlet
- Waste standpipe
- Gas piping

Kitchen ventilation: • Recirculating type

Bathroom ventilation: • Exhaust fan

Laundry room ventilation: • Clothes dryer vented to exterior

Limitations

Inspection limited/prevented by: • Storage/furnishings • Storage in closets/cupboards

Restricted access to:

• Basement

80% of basement floor had storage. 50% of basement ceiling covered with plywood or plastic.

Percent of foundation not visible: • 20 %

Recommendations

FLOORS \ General

49. Condition: • [Trip hazard](#)

Floor transition level is uneven between some rooms

Location: First Floor Kitchen

Task: Monitor

FLOORS \ Resilient flooring

50. Condition: • Edges are lifting.

Location: Second Floor Bathroom

Task: repair

FLOORS \ Subflooring

51. Condition: • [Springy](#)

Location: First Floor Second Floor Attic

FLOORS \ Concrete floors

52. Condition: • uneven floor trip hazard

Location: Basement

Task: Monitor, repair

Time: Discretionary

CEILINGS \ General

53. Condition: • Peeling paint should be fixed.

Location: Various

Task: Improve

Time: Discretionary

54. Condition: • Typical flaws

Location: Various

Task: Monitor

WINDOWS \ Glass (glazing)

55. Condition: • [Lost seal on double or triple glazing](#)

Skylight

Location: Second Floor Bathroom

WINDOWS \ Sashes

56. Condition: • [Stiff](#)

Some sash are also a little loose

Implication(s): Reduced operability

Location: Various

57. Condition: • [Loose fit](#)

Implication(s): Chance of damage to finishes and structure

Location: Throughout

WINDOWS \ Skylight

58. Condition: • [Leak](#)

There are water stains on the sheetrock.

Location: Second Floor Bathroom

Task: Monitor

DOORS \ Doors and frames

59. Condition: • Does not latch properly
door knob at closet needs repair

Location: Rear Second Floor Bedroom

Task: Repair

Time: Discretionary

CARPENTRY \ Cabinets

60. Condition: • [Defective hardware](#)

At sink base

Location: Kitchen

Task: Improve

STAIRS \ General

61. Condition: • [Poor lighting](#)

Implication(s): Trip or fall hazard

Location: Various Basement First Floor Second Floor

Task: Improve

STAIRS \ Height

62. Condition: • Cellar stairway ceiling height is low

Task: Monitor

STAIRS \ Treads

63. Condition: • [Worn or damaged](#)

At cellar and both attics.

Implication(s): Weakened structure | Trip or fall hazard

Location: First Floor Second Floor

Task: Improve

STAIRS \ Stringers

64. Condition: • [Rot at bottom](#)

The bottom stair tread should be replaced.

Location: Basement

Task: repair

STAIRS \ Handrails

65. Condition: • [Too high](#)

It is hard to hold

Location: Basement

Task: Improve

STAIRS \ Guardrails

66. Condition: • Should be improved in both attics.

Task: Provide

67. Condition: • [Too low](#)

Implication(s): Fall hazard

Location: first floor attic

Task: improve

68. Condition: • [Missing](#)

Implication(s): Fall hazard

Location: second floor attic

Task: Provide

BASEMENT \ Leakage

69. Condition: • [Leakage - Read these articles before undertaking any action](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Basement

BASEMENT \ Wet basement - evidence

70. Condition: • [Water on floor](#)

Location: Basement

Task: monitor

BASEMENT \ Wet basements - corrective action noted

71. Condition: • Sump pump in basement

72. Condition: • [Dehumidifier in basement](#)

73. Condition: • [Peripheral drain](#)

Location: Throughout Basement

EXHAUST FANS \ Exhaust duct

74. Condition: • [Weather hood missing or loose](#)

Location: Rear Exterior

INTERIOR

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Task: Repair

75. Condition: • [Not vented to exterior](#)

Location: Second Floor Bathroom

Task: Improve

APPLIANCES \ Dryer

76. Condition: • Plastic dryer vent

Should be metal

Location: First Floor Laundry Area

Task: Replace

Time: Immediate

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Description

Weather: • Cloudy • Ground was frozen • There was snow on the ground. • There was snow on the roof.

Approximate temperature: • 34°

Attendees: • Buyer • Buyer's Agent • Seller's Agent

Access to home provided by: • Seller's agent

Occupancy: • The home was furnished during the inspection.

Utilities: • All utilities were on during the inspection.

Approximate inspection Start time: • The inspection started at 9:00 a.m.

Approximate inspection End time: • The inspection ended at 11:30 a.m.

END OF REPORT

266 CMR: BOARD OF REGISTRATION OF HOME INSPECTORS

266 CMR 6.00: STANDARDS OF PRACTICE

- 6.01: Access
- 6.02: Purpose
- 6.03: General Requirements
- 6.04: Scope of Home Inspection
- 6.05: General Limitations and Exclusions of the Home Inspection
- 6.06: Prohibitions
- 6.07: Optional Fee Based Services
- 6.08: Required Distribution of Energy Audit Documents

6.01: Access

The Client shall provide Safe Access and Sufficient Lighting to ensure that all systems and areas to be inspected under this standard are Readily Accessible and Observable.

6.02: Purpose

- (1) The purpose of a Home Inspection for Residential Buildings, including their attached garages, is to provide the Client with an inspection Report that forthrightly discloses the physical conditions of the systems and components listed in 266 CMR 6.04 which are Readily Accessible and Observable, including those systems and components, which are Safety Hazards as Observed at the time of the inspection.
- (2) An inspection carried out under the standards of 266 CMR 6.04 is not and shall not be construed to be a comprehensive Architectural and/or an Engineering study of the dwelling in question.

6.03: General Requirements

- (1) Inspectors shall:
 - (a) Use a written contract and provide only the Client with an original copy of the contract unless otherwise directed by the Client.
 - (b) Observe Readily Accessible and Observable installed systems and components listed in 266 CMR 6.04.
 - (c) Submit a confidential written Report only to the Client, which shall:
 - 1. Identify those components specified to be identified in 266 CMR 6.04.
 - 2. Indicate which systems and components designated for inspection in 266 CMR 6.04 have not been inspected.
 - 3. Indicate the condition of systems and components so Inspected including those that were found to be in need of repair, require additional investigation, and areas that have a potential for concealed damage.
 - 4. Record the Inspector's name (and the Trainee's name if applicable).
 - 5. Record the Client's name and the address of the property inspected.
 - 6. Record the on-site Inspection start and finish times.
 - 7. Record the weather conditions at the time of the inspection.
 - 8. Record the existence of obstructions and/or conditions that prevented the inspection of the installed systems and components.
 - 9. Embed in the Report and/or attach to the Report the list of itemized questions in 266 CMR 6.03(4)(a) through (k).
 - 10. Embed in the Report and/or attach to the Report a copy of 266 CMR 2.00: *Definitions* and a copy of the 266 CMR 6.00: *Standards of Practice*.
- (2) Every registered professional Home Inspector may have a seal of the design shown below authorized by the Board. All Reports prepared by a registered Home Inspector, or under his supervision, may be stamped with the impression of such seal and/or bear the name and license number of the Home Inspector. A registered Home Inspector shall impress his seal on and/or attach his name and license number to a Report only if his/her certificate of registration is in full force, and if he/she is the author of such Report or is in charge of its' preparation.

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6.03: continued



(3) The Report shall only inform the Client if additional investigation is required when:

- (a) The scope of the repair(s) is unknown, or
- (b) There is potential for and it is suspected that there is concealed damage, or
- (c) The subject area is beyond the scope of the Home Inspector's expertise.

(4) The Inspector shall notify his/her Client that answers to the following questions should be ascertained from the Seller and/or the Seller's Representative because they are important and relevant to the purchase of the inspected dwelling and may not be Readily Observable through inspection. The Inspector shall have been deemed to satisfy this requirement by embedding and/or attaching the questions listed in 266 CMR 6.03(4)(a) through (k) to the Report.

To the Best of Your Knowledge as the Seller and/or Seller's Representative:

- (a) Does the dwelling have a history of seepage, dampness, and/or water penetration into the Basement and/or Under Floor Crawl Space? If so please explain.
- (b) Has a sump pump ever been installed or used in the Basement/Under Floor Crawl Space?
- (c) Do you use any type of dehumidification in any part of the dwelling?
- (d) Are you aware of any mold and/or air quality issues in the dwelling?
- (e) Is the dwelling on a private sewage system?
 - 1. If the waste system is private, has a Title V inspection been completed, and is the completed Title V Report available for review?
 - 2. Has the dwelling ever been inspected and/or treated for insect infestation?
 - a. If so, when?
 - b. What were the chemicals used?
- (f) Has the dwelling ever been tested for radon gas and/or lead paint?
 - 1. If so when?
 - 2. What were the results?
- (g) Has the dwelling ever been inspected by an Inspector?
 - 1. If so, when?
 - 2. Were any problems noted?
 - 3. Is a copy of the inspection Report available?
- (h) Are the Seller/ Seller's Representative aware of any structural, mechanical, electrical or other material defects that may exist on the property?
- (i) Has there ever been a fire in the dwelling?
 - 1. If so, when?
 - 2. What areas were involved?
 - 3. What chemical cleaners, if any, were used for cleanup?
- (j) Has there ever been a hazardous waste spill on the property?
- (k) Is there is an underground storage tank on the property?
- (5) The Inspector shall not represent to the Seller/Seller's Representative or Client that there is any legal obligation, duty, or requirement on behalf of the Seller/Seller's Representative to answer the questions set forth in 266 CMR 6.03(4)(a) through (k).
- (6) The Inspector shall not be held liable for the accuracy of third party information.

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6.03: continued

(7) Regardless of any additional professional registrations or licenses held by the Inspector and/or Trainee practicing in the Commonwealth of Massachusetts he/she shall conduct his/her Home Inspection in accordance with 266 CMR 6.00 through 6.06. However, the standards are not intended to limit Inspectors from:

- (a) Reporting observations and conditions in addition to those required in 266 CMR 6.04.
- (b) Excluding other systems and components from the inspection if requested by the Client and noted in the Report.
- (c) Providing Optional Fee Based Services, as long as they are contracted for in writing and/or included in the report and are not prohibited under 266 CMR 6.06.

6.04: Scope of the Home Inspection(1) System: Roofing.

(a) The Inspector shall Observe the Readily Accessible and Observable:

- 1. Roof coverings.
- 2. Exposed roof drainage systems
- 3. Flashings.
- 4. Skylights, chimneys, and roof penetrations.
- 5. Signs of leaks on building components.

(b) The Inspector shall Identify:

- 1. the type of roof covering materials: Asphalt, Cementitious, Slate, Metal, and/or Tile Shingles, Built-up type (Bald Asphalt, Tar and Gravel, Mineral Covered Rolled Roofing, Ballasted Rubber Membrane, Adhered Membrane, Mechanically Fastened Membrane, Other.
- 2. the roof drainage system: Gutters (Aluminum, Copper, Wood, Vinyl, Other) Leaders/Downspouts (Aluminum, Copper, Galvanized, Vinyl, Other)
- 3. the chimney materials: Brick, Concrete Block, Metal, Other
- 4. the methods used to Observe the roofing.

(c) The Inspector shall Report on:

- 1. Any signs of previous and/or active leaks.
- 2. The following exposed Readily Accessible and Observable roofing components: the roof covering, exposed roof drainage systems, exposed flashings, skylights, exterior of chimney(s), roof penetrations.

(d) Exclusions: Including but not limited to 266 CMR 6.04(d)1. and 2., the Inspector shall not be required to:

- 1. Walk on the roof unless in the opinion of the Home Inspector he/she is provided Safe Access, and the Seller and/or the Seller's Representative provides authorization that relieves the Inspector of all liability of possible damage to the roofing components, and in the opinion of the Inspector, walking on the roof will pose no risk of personal injury or damage to the roofing components.
- 2. Observe and Report On:
 - a. Attached accessories including, but not limited to: solar systems, antennae, satellite dishes and lightning arrestors.
 - b. The interior of chimney flues.

(2) System: Exterior.

(a) The Inspector shall Observe the Readily Accessible and Observable:

- 1. Wall cladding.
- 2. Entryway doors and windows.
- 3. Garage door operators.
- 4. Decks, balconies, stoops/landings, steps, areaways/window wells, and porches including hand and guard railings.
- 5. Exposed trim (eaves, soffits, fascias, rake, corner, and other trim Boards).
- 6. Flashings
- 7. Driveways, walkways, vegetation, grading, site drainage, and retaining walls.

(b) The Inspector shall Identify:

- 1. Wall-cladding materials: Cementitious Siding, Asphalt and/or Wood Shingles, Aluminum and/or Vinyl Siding, Wood Clapboards, Brick, Other.

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6.04 continued

2. The deck/porch component materials: Brick, Concrete, Concrete Block, Steel, Wood, Other.

(c) The Inspector shall Report On the following exposed Readily Accessible and Observable exterior components:

1. Wall cladding.
2. Entryway doors and windows.
3. Deck/porches, balconies, stoops/landings, steps, areaways/window wells, including hand and guard railings.
4. The exposed trim.
5. Flashings.
6. Driveways, walkways, and retaining walls with respect to their effect on the condition of the dwelling and their ability to provide safe egress.
7. Vegetation, grading, site drainage with respect to their effect on the condition of the dwelling.

(d) The Inspector shall:

1. Probe exposed Readily Accessible and Observable exterior components where deterioration is suspected: However, probing is NOT required when probing would unduly damage any finished surface.
2. Operate all entryway doors and representative number of windows and Report their condition and need of repair, if any.
3. Operate garage doors (if the garage is attached to the main dwelling), manually or by using permanently installed controls of any garage door operator.
4. Report whether or not any garage door operator will automatically reverse or stop when meeting resistance during closing.

(e) Exclusions: Including but not limited to 266 CMR 6.04(2)(e)1. through 9., the Inspector shall not be required to Observe and Report On the following:

1. Storm doors and windows, screening, shutters, awnings and similar seasonal accessories.
2. Fences, landscaping, trees, swimming pools, patios, sprinkler systems.
3. Safety glazing.
4. Geological conditions (Engineering services).
5. Soil conditions (Engineering services).
6. Recreational facilities.
7. Any other dwelling units or addresses in multi-unit buildings.
8. Outbuildings and detached garages. However, should the Inspector include the inspection of these structures, under 266 CMR 6.07: *Optional Fee Based Services*, the inspection must comply with the standards of 266 CMR 6.04.

9. Underground utilities, pipes, buried wires, or conduits (Dig Safe)

(3) System: Structural Components Exposed in the Basement/Under Floor Crawl Space and Attic Space; Including Signs of Water Penetration.

(a) Basement/Under Floor Crawl Space:

1. The Inspector shall Observe the following exposed Readily Accessible and Observable Basement/Under Floor Crawl Space structural components:

- a. The exposed portions of the foundation.
- b. The exposed portions of the Basement/Under Floor Crawl Space floor.
- c. The exposed portions of the superstructure system (girders, sills, floor joists, headers, and sub-floor).
- d. The exposed portions of the columns and posts.

2. The Inspector shall Identify:

- a. The type of exposed Basement foundation materials (brick, concrete block, concrete, stone, wood, other).
- b. The type of exposed Basement floor system (concrete, earth, wood, other).
- c. The type of exposed Basement superstructure system (girder(s), sills, floor joists, and sub-floor).
- d. The type of exposed Basement columns and posts (brick, concrete block, concrete, steel, wood, other).

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3. The Inspector shall Report On the following exposed Readily Accessible and Observable structural components:

- a. The foundation.
- b. The floor system.
- c. The superstructure system.
- d. The columns and posts

4. The Inspector shall:

- a. Probe exposed Readily Accessible and Observable structural components where deterioration is suspected; however, probing is NOT required when probing would unduly damage any finished surface.
- b. Note the methods used to Observe Under Floor Crawl Spaces.
- c. Note obstructions, unsafe access, and dangerous or adverse situations that prevented him/her from inspecting the items noted in 266 CMR 6.04(3)(a)3.a. through d..
- d. Note signs of previous and/or active water penetration into the Basement, Under Floor Crawl Space and attic including the presence of sump pumps and dehumidifiers.

5. Exclusions: Including but not limited to 266 CMR 6.04(3)(a)5.a. through d., the Inspector shall not be required to:

- a. Collect engineering data such as the size, span, spacing, species, section modulus, slenderness ratio and/or modulus of elasticity of the structural members.
- b. Provide access to the items being inspected (Responsibility of Client/Seller/Seller's Representative).
- c. Enter the Under Floor Crawl Space
 - i. If it is not Readily Accessible,
 - ii. If access is obstructed and/or if entry could damage the property
 - iii. If a Dangerous or Adverse Situation is suspected and Reported by the Inspector.
- d. Observe and Report On Wood destroying insects, rodents and/or vermin unless specifically contracted for in writing. (Independent Pest Control/Extermination Service).

(b) Attic Space.

1. The Inspector shall Observe the following exposed Readily Accessible and Observable roof framing structural components: The exposed portions of the roof framing, including the roof sheathing.

2. The Inspector shall Identify:

- a. The type of framing: Rafters, Collar Ties, Tie Beams, Trusses, Other
- b. Roof Sheathing: Boards, Oriented Strand Board, Plywood, Other.
- c. The methods used to Observe attics (through a hatch or while standing in the attic space).

3. The Inspector shall Report On:

- a. The presence and/or lack of flooring, obstructions, unsafe access, and dangerous or adverse situations that prevented him/her from inspecting the items noted in 266 CMR 6.04(3)(b)2.
- b. The following exposed Readily Accessible and Observable structural components of the roof framing:
 - i. The roof framing (Rafters, Collar Ties, Tie Beams, Rafter Ties, Trusses, Beams, Other)
 - ii. Sheathing Materials (Boards, Oriented Strand Board, Plywood, Other).
- c. The presence of a light.

4. The Inspector shall:

- a. Probe exposed Readily Accessible and Observable structural components where deterioration is suspected: However, probing is NOT required when probing would unduly damage any finished surface.
- b. Note the presence of a light.
- c. Note the presence of collar ties and/or tie beams.

5. Exclusions: Including but not limited to 266 CMR 6.04(3)(b)5.a. through e. the Inspector shall not be required to:

- a. Enter the Attic Space:
 - i. If it is not Readily Accessible,

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6.04: continued

- ii. If access is obstructed and/or if entry could damage the property,
- iii. If a Dangerous or Adverse Situation is suspected and Reported by the Inspector.
- b. Walk on the exposed and/or insulation covered framing members.
- c. Collect engineering data such as the size, span, spacing, species, section modulus, slenderness ratio and/or modulus of elasticity of the structural members. (Engineering services).
- d. Provide access to the items being inspected.
- e. Observe and Report On Wood destroying insects, rodents and/or vermin unless specifically contracted for in writing. (Independent Pest Control/Extermination Service).

(4) System: Electrical.

(a) The Inspector shall Observe the Readily Accessible and Observable Electrical Systems and Components:

- 1. The exterior of the exposed service entrance conductors.
- 2. Exterior receptacles.
- 3. The service equipment, grounding system, main overcurrent device, and the interior of the service and distribution panels (by removing the enclosure covers).
- 4. The exterior of the exposed branch circuit and feeder conductors, their overcurrent devices, and the compatibility of their ampacities and voltages.
- 5. Random interior receptacles.
- 6. The number of branch circuits and overcurrent devices in the panel enclosures.

(b) The Inspector shall Identify:

- 1. The service as being overhead or underground, cable, encased in conduit, other.
- 2. The type of service, feeder, and branch-circuit conductor materials (copper, copper-clad aluminum, aluminum, other).
- 3. The type of Interior Wiring (Armored Cable, Conduit, Tubing, Nonmetallic Cable, Knob and Tube, Flat Cable Assemblies, Other).
- 4. The location of the service and distribution panels and indicate whether they are Readily Accessible and Observable.
- 5. The ampacity and the voltage of the main service disconnect (30, 60, 100, 125, 150 and/or 200 amp, other service, 120, 120/240, 120/208-volt system).
- 6. Any of the overcurrent devices that are in the off position.

(c) The Inspector shall Report On the following Readily Accessible and Observable Electrical Systems and Components:

- 1. The electrical service equipment including the service and distribution panels.
- 2. Undedicated exterior and interior electrical receptacles and polarity, grounding and ground fault protection issues (if any)
- 3. Any polarity or grounding issues of the receptacles required to be tested.
- 4. The exposed and Readily Accessible and Observable interior wiring.
- 5. Conditions that prevented him/her from inspecting any of the items noted above.

(d) The Inspector shall:

1. Test:

- a. The polarity and grounding of a representative sample of the Readily Accessible two and three-prong receptacles throughout the dwelling.
- b. The polarity and grounding of all un-dedicated bathroom and kitchen countertop receptacles.
- c. The polarity and grounding of all Readily Accessible, non-dedicated receptacles in the attached garage and on the exterior of inspected structures and in unfinished basements, and check to see if they are ground fault protected.
- d. The operation of all Readily Accessible Ground-fault Circuit Interrupters.
- e. The operation of all Readily Accessible Arc Fault Current Interrupters.
- f. All bathroom and kitchen countertop receptacles to see if those receptacles are ground fault protected.

2. Note:

- a. The reason(s) for not removing any panel covers.
- b. The location of the service and distribution panels.

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c. The presence of aluminum wiring, and

i. If the exposed and Readily Accessible and Observable aluminum conductor terminations are coated with a termination compound, and

ii. If the overcurrent devices are identified for use with aluminum wire.

d. If the electrical system is attached to both the city and dwelling side of the water piping and/or a ground rod.

e. If the water piping is not bonded to the electrical system within the first five feet of its entry into the Basement.

f. If the neutral and equipment-ground terminal bars are bonded to the panel enclosures.

g. The compatibility of the overcurrent devices and the size of the protected conductor (Over-fusing).

h. The functionality of ground-fault and arc fault protected receptacles, if any, as determined by the required testing.

i. The existence of ground fault protection devices on all bathroom, kitchen countertop, exterior, unfinished basement, laundry and undedicated attached garage receptacles.

(e) Exclusions: Including but not limited to 266 CMR 6.04(4)(e)1. through 6., the Inspector shall not be required to:

1. Collect engineering data on the compatibility of the overcurrent devices with the panel and/or determine the short circuit interrupting current capacity. (Engineering services).

2. Determine the adequacy of the ground and/or the in place systems to provide sufficient power to the dwelling, or reflect on the sufficiency of the electric distribution system in the Dwelling (Engineering/Electrical Services).

3. Insert any tool, probe, or testing device inside the panels.

4. Test or Operate any overcurrent device except Ground-fault Circuit Interrupters and Arc Fault Interrupters.

5. Dismantle any electrical device or control other than to remove the covers of the service and distribution panels.

However, the Inspector is not required to remove the covers of the service and distribution panels if the panel covers are not Readily Accessible, if there are Dangerous or Adverse Situations present, or when removal would damage or mar any painted surface and/or covering materials.

6. Observe or Report On:

a. The quality of the conductor insulation. (Electrical Services).

b. Test for Electro-Magnetic fields. (Electrical Services).

c. Low voltage systems, doorbells, thermostats, other.

d. Smoke and carbon monoxide detectors (Seller's responsibility, M.G.L. c. 148, § 26E and 527 CMR 31.06).

e. Telephone, security alarms, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system.

f. Underground utilities, pipes, buried wires, or conduits (Dig Safe).

(5) System: Plumbing.

(a) The Inspector shall Observe:

1. The exposed Readily Accessible and Observable interior water supply and distribution system including:

a. Piping materials, including supports and insulation.

b. Fixtures and faucets.

c. Functional Flow.

d. Leaks.

e. Cross Connections.

2. The exposed Readily Accessible and Observable exterior and interior drain waste and vent system, including:

a. Traps; drain, waste, and vent piping; piping supports and pipe insulation.

b. Leaks.

c. Functional Drainage.

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3. Hot water systems including:

- a. Water heating equipment.
- b. Normal Operating Controls.
- c. The presence of Automatic Safety Controls.
- d. The exterior of the chimneys, thimbles and vents.

(b) The Inspector shall Identify:

1. The type(s) and condition of water distribution piping materials (Brass, Copper, Steel, Lead, Plastic, Other).
2. The type(s) and condition of drain, waste, and vent piping materials (Brass, Copper, Cast Iron, Galvanized, Lead, Plastic, Steel, Other).
3. The type of water heating equipment (Gas, Electric, Oil, Tankless, Solar, Other), and the nameplate capacity of the water heating equipment (gallons and/or gallons per minute).
4. The location of the main shut off valve.

(c) The Inspector shall Report On

1. The water heater.
2. The exposed flue piping and the existence of thimbles in the chimney.
3. The Readily Accessible and Observable waste and water distribution systems.

(d) The Inspector shall:

1. Operate all plumbing fixtures where practical, including their faucets if readily Accessible.
2. Note:
 - a. The presence of a pressure/temperature valve and vacuum relief valve at the water heater.
 - b. The existence of Cross Connections if Readily Accessible and Observable.
 - c. The existence of any visible leaks.
 - d. conditions that prevented him/her from inspecting any of the Plumbing Components and Systems

(e) Exclusions: Including but not limited to 266 CMR 6.04(5)(e)1. through 6., the Inspector shall not be required to:

1. Test the operation of any valve except Readily Accessible water closet flush valves and fixture faucets.
2. Collect engineering data on the size of or length of water and/or waste systems and/or remove covering materials (Engineering/Plumbing services).
3. Report On the adequacy and/or the efficiency of the in place systems to provide sufficient hot water to the dwelling, sufficient water supply, or drainage for the dwelling (Engineering services).
4. State the effectiveness of anti-siphon devices (Engineering/Plumbing services).
5. Determine whether water supply and waste disposal systems are public or private (Seller/Seller's Representative responsibility).
6. Observe, Operate, or Report On:
 - a. The exterior hose bibs.
 - b. Water conditioning systems.
 - c. Fire and lawn sprinkler systems.
 - d. On-site or public water supply quantity and quality.
 - e. On-site (Title V Inspection, 310 CMR 15.00) or public waste disposal systems.
 - f. Foundation sub drainage systems.
 - g. whirlpool tubs, except as to functional flow and functional drainage.
 - h. interior of flue linings.
 - i. Underground utilities, pipes, buried wires, or conduits (Dig Safe).
 - j. Equipment related to on-site water supply systems.
 - k. Water filtration Components and Systems.

(6) System: Heating.

(a) The Inspector shall Observe the following permanently installed exposed Readily Accessible and Observable heating Components and Systems:

1. Heating equipment including, but not limited to burners, valves, controls, circulators and fans.

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2. Normal operating controls
3. Automatic Safety Controls.
4. The exterior of the chimneys, thimbles and vents.
5. Solid fuel heating devices.
6. Heating distribution systems including Readily Accessible fans, pumps, ducts, piping and supports, dampers, insulation, air filters, registers, radiators, fan coil units, convectors.
7. Insulation.
8. The presence of an installed heat source in each habitable room including kitchens and bathrooms.
9. The exposed flue piping and the existence of a thimble(s).
- 10 The presence of a fireplace(s) and the operation of their damper(s).

(b) The Inspector shall Identify:

1. The type of energy source (Coal, Electric, Gas, Heat Pump, Oil, Wood, Other).
2. The heating equipment (Electric, Hot Air, Hot Water, Steam, Other).
3. The type of distribution system:
 - a. Piping: (Black Iron, Copper, Other).
 - b. Duct work: (Aluminum, Fiberglass, Steel, Other).

(c) The Inspector shall Report On the following permanently installed and Readily Accessible and Observable heating system components:

1. The heating equipment.
2. The distribution system.
3. The flue piping and the existence of a thimble(s).
4. The fireplace hearth(s)
5. The fireplace damper(s).

(d) The Inspector shall:

1. Note:
 - a. The absence of an installed heat source in habitable rooms including kitchens and bathrooms.
 - b. The existence of insulation.
 - c. The presence of exposed flues in the smoke chamber being utilized by other appliances.
 - d. The operation (only) of fireplace dampers.
 - e. The existence of abandoned oil tanks.
 - f. Any observed evidence of underground oil tanks. (Exposed abandoned oil lines, meters, *etc.*) Abandoned oil tanks and associated piping must be removed per 527 CMR.
2. If possible, have the Seller and/or the Seller's Representative Operate the systems using Normal Operating Controls. If not possible for Seller or Seller's Representative to Operate system, the Inspector shall Operate system using Normal Operating Controls and Report On condition of the heating equipment.
3. Open Readily Accessible and Operable Access Panels provided by the manufacturer or installer for routine homeowner maintenance.

(e) Exclusions: Including but not limited to 266 CMR 6.04(7)(e)1. through 7., the Inspector shall not be required to:

1. Test and/or inspect the heat exchanger. This requires dismantling of the furnace cover and possible removal of controls. (Engineering services/Heating services).
2. Collect engineering data on the size of the heating equipment and/or the size or length of the distribution systems. (Engineering/Heating services).
3. Report On the adequacy or uniformity of the in place system(s) to heat the dwelling and/or the various rooms within the dwelling (Engineering/Heating services).
4. Operate heating systems when weather conditions or other circumstances may cause equipment damage, or when the electrical and/or fuel supply to the unit is in the off position.
5. Ignite or extinguish solid fuel and/or gas fires.
6. Identify the type of insulation coverings.
7. Observe, Identify, or Report On:
 - a. The interior of flues with the exception of exposed flues serving other appliances as Observed in the smoke chamber of the fireplace.

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- b. Fireplace inserts flue connections.
- c. Humidifiers.
- d. Electronic air filters.
- e. Active underground pipes, tanks, and/or ducts. However, the Inspector must Report their existence if it is known.
- f. Active oil tanks.
- g. The uniformity or adequacies of heat supply to the various rooms.

(7) System: Central Air Conditioning.

(a) The Inspector shall Observe:

- 1. The following exposed Readily Accessible and Observable central air conditioning components:
 - a. Cooling and air handling equipment.
 - b. Normal operating controls.
- 2. The following exposed Readily Accessible and Observable distribution systems: Fans, pumps, ducts and piping, with supports, dampers, insulation, registers, fan-coil units, condensers, the presence of insulation on the distribution system.

(b) The Inspector shall Identify the type of distribution system (Duct work: Aluminum, Fiberglass, Steel, Other).

(c) The Inspector shall Report On the following exposed Readily Accessible and Observable central air conditioning components:

- 1. The distribution system
- 2. The insulation on the exposed supply ductwork.
- 3. The condition of the condenser and air-handling unit.

(d) The Inspector shall:

- 1. If possible, have the Seller and/or the Seller's Representative Operate the systems using Normal Operating Controls
- 2. Open Readily Accessible Operable Access Panels provided by the manufacturer or installer for routine homeowner maintenance and Report On conditions Observed.
- 3. Note
 - a. Whether or not the cold gas line is insulated.
 - b. Whether there is, a service receptacle and a visible service disconnect switch in the area of the condenser and air handling equipment.

(e) Exclusions: Including but not limited to 266 CMR 6.04(7)(e)1. through 7., the Inspector shall not be required to:

- 1. Collect engineering data on the size of the cooling equipment, the size or length of the distribution systems.
- 2. Identify the type of insulation coverings.
- 3. Observe, Identify, or Report On air filters and/or their effectiveness.
- 4. Have the Seller and/or the Seller's Representative Operate the cooling systems when weather conditions or other circumstances may cause equipment damage, or when the electrical supply to the unit is in the off position.
- 5. Observe, Identify, or Report On evaporator coils (Requires dismantling of the plenum cover and possible removal of controls which is HVAC technician work).
- 6. Observe, Identify, or Report On non-central air conditioners.
- 7. Report On the adequacy or uniformity of the in place system(s) to cool the dwelling and/or the various rooms within the dwelling (Engineering/Heating services).

(8) System: General Interior Conditions.

(a) The Inspector shall Observe:

- 1. Walls, ceiling, and floors.
- 2. Steps, stairways, balconies, hand and guard railings.
- 3. Counter tops and a representative number of cabinets.
- 4. A representative number of doors and windows.
- 5. Separation walls, ceilings, and doors between a dwelling unit and an attached garage or another dwelling unit.

(b) The Inspector shall Identify:

- 1. The type of exposed floor material (brick, carpet, ceramic tile, linoleum, slate, vinyl tile, wood, other).

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2. The type of exposed wall materials (brick, ceramic tile, fiberglass, laminates, paneled, plaster, gypsum wallboard, plastic tile, other).

3. The type of exposed ceiling materials (acoustical tile, gypsum wallboard, plaster, wood, other).

(c) The Inspector shall Report On:

1. The floor.

2. The walls.

3. The ceilings.

4. The condition of the interior stairs, hand and guard railings.

5. Signs of water penetration.

6. The interior doors Observed and tested.

7. The windows

(d) The Inspector shall operate a representative number of doors, windows, and cabinets

(e) Exclusions: Including but not limited to 266 CMR 6.04(8)(e)1. and 2., the Inspector shall not be required to:

1. Observe and Report On the following:

a. Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors.

b. Draperies, blinds, or other window treatments.

c. Household appliances.

2. Determine the fire safety rating of any walls, ceilings, and doors between a dwelling unit and an attached garage or another dwelling unit.

(9) System: Insulation and Ventilation.

(a) The Inspector shall Observe the following Readily Accessible and Observable Components and Systems:

1. Exposed insulation in unfinished spaces.

2. Ventilation of Attics and Under Floor Crawl Space areas.

3. Bathroom venting systems

(b) The Inspector shall Identify:

1. The type of ventilation in the attic space (None, Ridge, Soffit, Area, Power Vent, Gable, Eave, Mushroom, Turbine, Other).

2. The existence and/or absence of bathroom ventilation other than a window(s).

(c) The Inspector shall Report On the following Readily Accessible and Observable Components and Systems:

1. Exposed insulation in unfinished spaces.

2. Ventilation of attics and Under Floor Crawl Space areas.

3. Bathroom venting systems.

(d) The Inspector shall Note:

1. The absence of insulation in unfinished space at Conditioned Surfaces.

2. The absence of ventilation of an Under Floor Crawl Space.

(e) Exclusions: Including but not limited to 266 CMR 6.04(9)(e)1. through 5., the Inspector shall not be required to Observe and Report On the following:

1. The type(s) and/or amounts of insulation and/or its material make-up.

2. Concealed insulation and vapor retarders.

3. Venting equipment that is integral with household appliances.

4. The venting of kitchens.

5. The adequacy, uniformity and capacity of the in place system(s) to ventilate the various areas of the dwelling (Engineering/Heating services).

6.05: General Limitations and Exclusions of the Home Inspection

(1) General Limitations.

(a) Home Inspections done in accordance with the standards set forth in 266 CMR 6.04 are visual and not Technically Exhaustive.

(b) The Home Inspections standards set forth in 266 CMR 6.04 are applicable to Residential Buildings with four or less Dwelling units under one roof and their attached garages.

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(2) General Exclusions.

(a) Inspectors shall not be required to Report On:

1. The remaining life expectancy of any component or system.
2. The causes of the need for repair.
3. The materials for corrections of the problem.
4. The methods of repair other than to indicated the repair should comply with applicable requirements of the governing codes and sound construction practices.
5. Compliance or non-compliance with applicable regulatory requirements unless specifically contracted for in writing.
6. Any component or system not covered by 266 CMR 6.04.
7. Cosmetic items.
8. Items that are not Readily Accessible and Observable, underground items, or items not permanently installed.
9. Systems or Components specifically excluded by Client (noted in writing in the Contract or in the Report).

(b) Inspectors shall not be required to perform or provide any of the following under the Home Inspection specified in 266 CMR 6.04:

1. Offer warranties, guarantees and/or insurance policies of any kind on the property being inspected.
2. Collect any engineering data (the size of structural members and/or the output of mechanical and/or electrical equipment).
3. Inspect spaces that are not Readily Accessible and Observable. Enter any area or perform any procedure, which may damage the property or its components, or be dangerous and unsafe to the Inspector or other persons, as determined by and Reported by the Inspector.
4. Disturb or move insulation, stored and/or personal items, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility.
5. Determine the effectiveness of any system installed to control or remove suspected hazardous substances
6. Predict future conditions, including but not limited to failure of Components. (See Additional Services)
7. Project operating costs of Components.
8. Determine extent or magnitude of damage or failures noted.
9. Operate any System or Component which does not respond to normal operating controls.
10. Test for radon gas.
11. Determine the presence or absence of pests including but not limited to: rodents or wood destroying insects.
12. Determine the energy efficiency of the dwelling as a whole or any individual system or component within the dwelling.
13. Perform Environmental Services including determining the presence or verifying the absence of any micro organisms or suspected hazardous substances including, but not limited to, carbon monoxide, latent surface and/or, subsurface Volatile Organic Compounds, PCB's, asbestos, UFFI, toxins, allergens, molds, carcinogens, lead paint, radon gas, electromagnetic radiation, noise, odors, or any contaminants in soil, water, air wet lands and/or any other environmental hazard not listed in 266 CMR 6.05(2)(a) and (b).
14. Evaluate acoustical characteristics of any system or component.
15. Inspect surface and subsurface soil conditions.

6.06: Prohibitions

Inspectors are prohibited from:

- (1) Reporting on the market value of property or its marketability and/or the suitability of the property for any use.
- (2) Advising their Client about the advisability or inadvisability of the purchase of the property.

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- (3) Testing Automatic Safety Controls.
- (4) Activating the sump pumps and/or dehumidifiers.
- (5) Offering or performing any act or service contrary to law and/or 266 CMR 6.00.
- (6) Determining the cost of repairs of any item noted in their Report and/or inspected by them and/or their firm.
- (7) Offering to make and/or perform any repair, provide any remedy: including but not limited to performing engineering, architectural, surveying, plumbing, electrical and heating services, pest control (treatment), urea formaldehyde or any other job function requiring an occupational license and/or registration (in the jurisdiction where the inspection had taken place) on a Dwelling, and/or Residential Building inspected by his/her firm. The only exception is if those repairs and/or services are part of a negotiated settlement of a complaint and/or claim against the Inspector and/or the firm he/she/represents.
- (8) However, nothing in 266 CMR 6.06 shall prohibit the Inspector and/or his/her/firm from offering consulting services on a Dwelling, and/or Residential Building his/her firm has not inspected as long as the consulting service is not pursuant to the sale and/or transfer of the property and/or dwelling.
- (9) Operating any system or component that is shut down or otherwise inoperable. (However, the Inspector shall recommend the Seller and/or the Seller's Representative demonstrate that those systems and/or components are functional).
- (10) Turn on any electrical or fuel supply and/or devices that are shut down. (However, the Inspector shall recommend the Seller and/or the Seller's Representative demonstrate that those systems and/or components are functional).

6.07: Optional Fee Based Services

There are certain risks inherent in the purchase of property and a Home Inspection is inherently limited in its scope and depth. The information gained from Home Inspection conforming to 266 CMR 6.04 may reduce some of those risks, but the Home Inspection is not intended to provide the Client with protection from all of the risks involved.

The Home Inspector may provide Optional Fee Based Services addressing items including, but not limited to, those excluded in 266 CMR 6.04 provided the service is specifically contracted for in writing and/or included in the Report, and do not include the physical repair, abatement, or treatment to the Dwelling, and/or Residential Building being inspected, and is not prohibited under 266 CMR 6.06.

To offer any such services that require an occupational license and/or registration, the Inspector shall hold a valid registration and/or occupational license in the jurisdiction where the inspection is taking place. The Inspector shall inform the Client in writing that he/she is so registered/licensed and is therefore qualified to go beyond the standards of 266 CMR 6.04.

6.08: Required Distribution of Energy Audit Documents

- (1) Purpose and Scope. The purpose of 266 CMR 6.08 is to promote the informed use of energy audits by providing a document, outlining the procedures and benefits of a home energy audit, to buyers of residential dwellings at or before the time of closing.
- (2) Requirement. Home Inspectors shall provide a document outlining the procedures and benefits of a home energy audit to all Clients purchasing a single-family residential dwelling, a multiple-family residential dwelling with less than five dwelling units, or a condominium unit in a structure with less than five dwelling units.
- (3) Distribution of Document -Availability, Timing, and Format. The Board shall make a copy of the document to be distributed available on its website. The document must be provided to the buyer of the real estate at or before closing.

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(4) Prohibition of Additional Fees. No additional fees shall be imposed upon or collected from the buyer or seller of the real estate in connection with the provision of such document.

REGULATORY AUTHORITY

266 CMR 6.00: M.G.L. c.13, § 96 and c. 112, §§ 221 through 226.

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266 CMR 2.00: DEFINITIONS

Section

2.01: Definitions

2.01: Definitions

As used in 266 CMR 2.00 through 11.00, the following definitions shall apply:

Agent. Seller's/owner(s) representative and/or person authorized to act on behalf of the seller/owner(s) including a real estate broker or salesperson as defined in M.G.L. c 112, § 87PP.

Associate Home Inspector. A person licensed pursuant to M.G.L. c. 112, § 223, conducting a Home Inspection of residential building(s) under the supervision of a licensed Home Inspector.

Attic Space. The unfinished space between the ceiling joists of the top story and the roof rafters.

Automatic Safety Controls. Devices designed and installed to protect systems and components from unsafe conditions.

Architectural Services. As defined in M.G.L. c. 112, §§ 60A through 60O (architect's license required).

Architectural Study. A study requiring Architectural Services.

Basement/Cellar. That portion of a Dwelling that is partly or completely below grade.

Board. The Board of Registration of Home Inspectors established pursuant to M.G.L. c. 13, § 96.

Branch Circuit. The circuit conductors between the final overcurrent device protecting the circuit and the outlet(s).

Buyer's Broker. A real estate broker or salesperson, as defined in M.G.L. c 112, § 87 YY½, who has a written contractual agreement or a written agency disclosure between the buyer and the real estate broker specifying that the real estate broker is acting exclusively for the buyer as a buyer's broker.

Central Air Conditioning. A system that uses ducts to distribute cooled and/or dehumidified air to more than one room or uses pipes to distribute chilled water to heat exchangers in more than one room, and which is not plugged into an electrical convenience outlet.

Client. A person who engages the services of a Home Inspector for the purpose of obtaining inspection of and a written Report On the condition of a Dwelling and/or Residential Building(s).

Component. A Readily Accessible and Observable element comprising a part of a system and which is necessary for the safe and proper function of the system.

Conditioned Surface. The surface of the floor and/or ceiling that is being mechanically cooled and/or heated.

Continuing Education Credits. Formal coursework covering the elements directly related to the inspection of homes and/or commercial buildings. One contact hour shall equal one credit.

Continuing Education Program. Formal presentation such as a lecture or interactive session with specified learning objectives at which Registrants can earn Continuing Education Credits approved by the Board based on criteria set forth in 266 CMR 5.00 *et seq.*

Contract. The written agreement between the Client and the Home Inspector, which spells out the responsibilities and duties of each party and the fee to be paid for the inspection.

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Cross Connection. Any physical connection or arrangement between potable water and any source of contamination.

Dangerous or Adverse Situations. Situations that pose a threat of injury to the Inspector's health and welfare as determined by the Inspector.

Direct Supervision. Direct supervision means on-site and in-view observation and guidance of a supervisee who is performing an assigned activity during a Home Inspection.

Dismantle. To take apart or remove any component, device, or piece of equipment that is bolted, screwed, or fastened that a homeowner in the course of normal household maintenance would not dismantle other than the electrical panel cover(s).

Division. The Division of Professional Licensure.

Dwelling. A house, townhouse, condominium, cottage, or a Residential Building containing not more than four dwelling units under one roof.

Educational Training Credits. Formal coursework covering the elements of the fundamentals of Home Inspection. One contact hour shall equal one credit.

Provider. A person approved by the Board to offer continuing education credits.

Electrical Services. As defined in M.G.L. c. 141, M.G.L. c. 148, §§ 10D and 10E, and 527 CMR 12.00 (electrician license required).

Engineering Services. As defined in M.G.L. c. 112, §§ 81D through 81T. (Engineering license required).

Engineering Study. A study requiring Engineering Services.

Environmental Services. Services that require physical samples to be taken and analyzed by a laboratory to determine the type of and presence of contaminants and/or organic compounds and as defined in M.G.L. c. 112, §§ 81D through 81T and § 87LL. (License required).

Exclusions. Those items that are not part of and/or included in the 266 CMR 6.00: *Standards of Practice* and are to be provided by other specialists of the Client's choice. However, they may be included in the inspection as part of Optional Fee Based Services as outlined in 266 CMR 6.07.

Fee Paid Inspection. A Home Inspection carried out in accordance with 266 CMR 6.04 for which the Client pays a fee and receives a Report.

Feeder. All circuit conductors between the service equipment, the source of a separately derived system, or other power supply source and the final branch-circuit overcurrent device.

Fully Depreciated. Item/System inspected is no longer under the manufacturer's warranty, and it is reaching the end of its serviceable life. The Item/System/Component has no dollar or salvage value, and replacement should be anticipated.

Functional Drainage. A drain is functional when it empties in a reasonable amount of time and does not overflow when another fixture is drained simultaneously.

Functional Flow. A reasonable flow at the highest fixture in a dwelling when another fixture is operated simultaneously.

Heating Services. As defined in M.G.L. c. 148, §§ 10C and 10H, and 527 CMR 4.00: *Oil Burning Equipment*, plumber and electrician license required where applicable).

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

INSULATION

PLUMBING

INTERIOR

SITE INFO

APPENDIX

REFERENCE

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2.01: continued

Home Inspection. The process by which an Inspector, pursuant to the sale and transfer of a residential building, Observes and Reports On those systems and components listed in 266 CMR 6.00 *et seq* with the exception of the noted exclusions and prohibitions.

Home Inspector. A person licensed pursuant to M.G.L. c. 112, § 222.

Household Appliances. Kitchen and laundry appliances, room air conditioners, and similar appliances.

Identify. To name.

Indirect Supervision. The oversight of activities, other than direct observation, performed by the Supervisor in order to provide guidance to the Associate Home Inspector. These activities may include meeting with the supervisee; reviewing Reports prepared by the supervisee; reviewing and evaluating the supervisee's activities in connection with home inspections; and having supervisory conferences that may be conducted by telephone.

In Need of Repair. Does not adequately function or perform as intended and/or presents a Safety Hazard.

Installed. Attached or connected such that the installed item requires tools for removal.

Inspect/Inspected. To Observe the Readily Accessible systems or components as required by 266 CMR 6.04 *et seq*.

Inspector. A person licensed under M.G.L. c. 112, § 222 or 223.

Interior Wiring. Includes the exposed and Readily Observable Feeder and Branch Circuit wiring in the dwelling.

Mock Inspection. A simulated home inspection carried out for training purposes only and there is no Client involved.

Normal Operating Controls. Homeowner Operated devices such as a thermostat or wall switches.

Note. Record in the Report.

Observable. Able to be observed at the time of the inspection without the removal of fixed or finished coverings and/or stored materials.

Observe. The act of making a visual examination.

On-site Water Supply Quality. The condition of the potable water based on an evaluation of its bacterial, chemical, mineral, and solids content.

On-site Water Supply Quantity. The volume of water available measured over a period of time.

Operate. To cause systems or equipment to function.

Optional Services. Optional fee based services, which are beyond the scope of the Home Inspection as defined by 266 CMR 6.00 *et seq*.

Plumbing Services. As defined in M.G.L. c. 142 and 248 CMR 2.04 (plumber license required)

Primary Windows and Doors. Windows and exterior doors that are designed to remain in their respective openings year round.

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2.01: continued

Readily Accessible. Capable of being reached quickly for visual inspection without requiring the Inspector to climb over or remove any personal property, to dismantle, to use destructive measures, to resort to portable ladders and/or any action which will likely involve risk to persons or property.

Readily Operable Access Panel. A panel provided for homeowner inspection and maintenance, which has removable or operable fasteners or latch devices in order to be lifted, swung open, or otherwise removed by one person, and its edges and fasteners are not painted in place. (The panel must be within normal reach and not blocked by stored items, furniture or building components.)

Readily Observable Signs. Conditions of deterioration on the surface including, but not limited to: water stains, wood destroying fungi, insect infestation and deterioration suggesting the potential for concealed damage.

Recreational Facilities. Whirlpools, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other entertainment or athletic facilities.

Registered Professional Home Inspector. A Registrant (person) licensed pursuant to M.G.L. c. 112, § 222, by the Division of Professional Licensure.

Registrant. "Register", "Registered", "Registrant", and "registration" shall be used interchangeably with the words "license", "licensed", "licensee", and "licensure".

Repair. All repairs, when implemented by the buyer, seller, and/or homeowner shall comply with applicable requirements of the governing codes and sound construction practices.

Report. A written document setting forth findings of the Home Inspection unless otherwise specified in 266 CMR 2.00.

Report On. A written description of the condition of the systems and components observed. (The Inspector must state in his or her Report whether the System or Component has Readily Observable Signs indicating that it is need of repair or requires further investigation.

Representative Number. For multiple identical components such as windows, doors and electrical outlets, etc. one such component per room.

Residential Building. A structure consisting of one to four dwelling units under one roof.

Roof Drainage Systems. Gutters, downspouts, leaders, splash blocks, and similar components used to carry water off a roof and away from a dwelling or residential building.

Safe Access. Access free of any encumbrances, hazardous materials, health and Safety Hazards such as climbing and/or standing on anything other than the ground and/or floor which may jeopardize the Inspector as determined by the Inspector.

Safety Glazing. Tempered glass, laminated glass, or rigid plastic.

Safety Hazard. A condition in a Readily Accessible, installed system or component, which is judged by the Inspector to be unsafe, or of significant risk of personal injury during normal day-to-day use. (The risk may be due to damage, deterioration, improper installation or a change in the accepted residential construction standards.)

Seller/Seller's Representative. The owner of the property or one legally authorized to act on behalf of the owner such as an administrator, executor, guardian, or trustee, whether or not a natural person or Agent representing the seller.

Shut Down. A piece of equipment or a system is shut down when the device or control cannot be Operated in a manner that a homeowner should normally use to Operate it. (Inspectors are prohibited from operating the equipment or system).

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2.01: continued

Solid Fuel Heating Device. Any wood, coal, or other similar organic fuel-burning device including, but not limited to, fireplaces (whether masonry or factory built), fireplace inserts, stoves, central furnaces, and any combination of these devices.

Structural Component. A component that supports non-variable forces or weights (dead loads) and variable forces or weights (live loads).

Sufficient Lighting. Fully lighted with a minimum of 50-lumens in all areas to be inspected.

Supervisor. The licensed Home Inspector designated to oversee and supervise the training of an Associate Home Inspector and/or Trainee.

System. A combination of interacting or interdependent components assembled to carry out one or more functions.

Technically Exhaustive. An inspection is technically exhaustive when it involves the use of measurements, instruments, testing, calculations, and other means to develop scientific or engineering findings, conclusions, and recommendations.

Trainee. A person in the Associate Home Inspector Training Program for the purpose of meeting the requirements of M.G.L. c. 112, § 223 to qualify for licensure as an Associate Home Inspector.

Under Floor Crawl Space. The under-floor space between the bottom of the floor joists and the earth or floor under any Dwelling and/or Residential Building.

REGULATORY AUTHORITY

266 CMR 2.00: M.G.L. c. 13, § 96 and M.G.L. c. 112, §§ 221 through 226.

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	INSULATION	PLUMBING	INTERIOR	SITE INFO
APPENDIX	REFERENCE								

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NON-TEXT PAGE

REQUIRED HANDOUT PURSUANT TO 266 CMR 6.08

Pursuant to M.G.L. c. 13, s. 97A, and 266 CMR 6.08 Home Inspectors and Associate Home Inspectors are required to provide a document outlining the procedures and benefits of a home energy audit to all Clients purchasing a single-family residential dwelling, a multiple-family residential dwelling with less than 5 dwelling units or a condominium unit in structure with less than 5 dwelling units.

CONCERNED ABOUT RISING ENERGY COSTS? MASSSAVE CAN HELP.

There are so many great reasons to make energy-saving changes to your home—reduced energy costs throughout the year, improved home comfort, and lower greenhouse gas emissions.

- MassSave may provide you a no-cost home energy assessment to identify the energy-saving improvements that are right for you.
- MassSave may provide money toward the cost of purchasing and installing approved energy-saving measures and money-saving rebates when you install qualifying energy efficient equipment.

Get started today. Call MassSAVE at 866-527-7283 or go to www.masssave.com for more information or to schedule your home energy audit.

Important Questions for the Seller/Seller's Representative

To the Best of Your Knowledge as the Seller and/or Seller's Representative:

- (a) Does the dwelling have a history of seepage, dampness, and/or water penetration into the Basement and/or Under Floor Crawl Space? If so please explain.
- (b) Has a sump pump ever been installed or used in the Basement/Under Floor Crawl Space?
- (c) Do you use any type of dehumidification in any part of the dwelling?
- (d) Are you aware of any mold and/or air quality issues in the dwelling?
- (e) Is the dwelling on a private sewage system?
 - 1. If the waste system is private, has a Title V inspection been completed, and is the completed Title V Report available for review?
 - 2. Has the dwelling ever been inspected and/or treated for insect infestation?
 - a. If so, when?
 - b. What were the chemicals used?
- (f) Has the dwelling ever been tested for radon gas and/or lead paint?
 - 1. If so when?
 - 2. What were the results?
- (g) Has the dwelling ever been inspected by an Inspector?
 - 1. If so, when?
 - 2. Were any problems noted?
 - 3. Is a copy of the inspection Report available?
- (h) Are the Seller/ Seller's Representative aware of any structural, mechanical, electrical or other material defects that may exist on the property?
- (i) Has there ever been a fire in the dwelling?
 - 1. If so, when?
 - 2. What areas were involved?
 - 3. What chemical cleaners, if any, were used for cleanup?
- (j) Has there ever been a hazardous waste spill on the property?
- (k) Is there is an underground storage tank on the property?

List of tradespeople you might want to call

Roofing: RCI Roofing, LLP 413 527 4775

Sexton Roofing and Siding Company: 413 534 1234

Hawkins Roofing Services, slate and roof repair. 413 774 6834

Jack Morse and Son Roofing 413 634 8035

General Contractors: Construct Associates, Inc. 413 584 1224

Wright Builders, Inc. 413 586 8287

W. Marek Inc. 413 527 7667 (will also do roofing)

Sarafin Builders: 413 527 7812

Sackrey Construction, LLC 413 665 9995

Smaller Contractors/carpenters: (These guys may also do roofing)

Richard Nelson 413 268 9335

Richard LaBombard 413 527 7427

Tom Dolan 413 296 4303

Electrical work: Blanchard and Daly 413 527 1234

Curt Golec 413 320 1156

Marney Electrical Services Inc. 413 584 0737

Whiteley Elictric 413 527 1440

Plumbing, Heating, HVAC: Walunas Plumbing and Heating 413 529 2675

Orchard Valley Heating and Cooling 413 527 5812

Hodge City Mechanical 413 586 1150

Rich Strong Air Conditioning 413 247 0095

Richards Plumbing and Heating 413 527 0291

Fuel and Heating: Richards Fuel and Heating Inc. 413 527 0194 (oil)

Cernak Fuel 413 527 4840 (oil, tank removal)

George Propane Inc. 413 268 8360

Oil Tank Inspections: Fuel Services, 413 315 5391

Rice Energy, 800 776 7263

Insulation: Cozy Home Performance 413 529 0200

First Prize spray foam insulation 413 203 5160

APPENDIX

Report No. 1004, v.3

127 Jackson Way, Northampton, MA March 20, 2015

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

INSULATION

PLUMBING

INTERIOR

SITE INFO

APPENDIX

REFERENCE

Gutters and Downspouts: Mr Gutter 413 586 7451 (also does metal roofing)

Flooring: Wagner Rug and Flooring 413 568 0520

Floor refinishing: Dion and Son 413 584 6170

Ceramic Tile: Mike McKenna 413 527 1266

Masonry: Mike McKenna 413 527 1266

Chimney Cleaning and Masonry: The Superior Chimney sweep 413 529 9436

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS